
MEMORANDUM



TO: Mayor & City Council
FROM: Mary Lou DeWitt, Comm. Dev. Zoning Specialist
SUBJECT: **Lot Split at 706 9th St. N., PID #24-040-2630**
DATE: March 8th, 2024

Background:

Shawn and Tonya Williams, applicant applied for a Lot Split at the property site located at 706 9th Street North. The legal description for the site is Lot 10, Lot 11, and Lot 12, Block 60, Original Townsite. The City approved the vacation of the “not constructed” alley that is east of the three lots and north of Lot 10 on November 21st, 2023. The approximate 8’ feet has been added to the lots. Princeton Public Utilities will maintain the proper utility easements and Right-of-Ways for electric lines in the vacated alley.

The property was owned by Mille Lacs County and hosted a building for Mille Lacs County Public Works Department. The site will be cleared of the building and any other structure on the lots. This will be a condition for the approval of the Lot Split.

The Planning Commission held a public hearing on February 26th, 2024 and the appropriate notifications were sent to properties 350 feet from the site. There were no concerns from those that received the public hearing notice for the Lot Split application.

Proposal:

The applicant would like to build single family homes on each lot. The lots are standard size lots and that will accommodate a single-family home. Setbacks shall be met and that will be a condition of the Lot Split.

Zoning:

The site is located in the R-2, Residential District. The Zoning Ordinance states for a permitted use in the R-2 District;

For a single-family dwelling, the minimum finished ground level main floor area of the various kinds of dwellings shall be as follows:

- a. one story with basement – 1000 square feet
one story without basement – 1100 square feet.

- b. multi-story (bi-level) dwellings – 850 square feet.

For a two-family dwelling, the minimum finished floor area for one and two-bedroom units shall be 800 square feet per unit. Each additional bedroom beyond two shall require an additional minimum of 120 square feet of finished floor area.

R-2, Residential Zoning District	One Family
A. Lot area minimum square feet	9,800
B. Lot width minimum feet ¹	66
C. Maximum lot coverage	40%
D. Front yard minimum setback (living area) ²	25
E. Front yard minimum setback (front porch) ³	20
F. Side yard minimum setback (living area)	10
G. Side yard minimum setback (garage) ⁴	5
H. Street side yard minimum setback	20
I. Rear yard minimum setback ⁵	30
J. Rear yard minimum alley setback ¹¹	5
	10
K. Maximum height	30

Access:

The applicant proposes to build each single-family home where the access for each of the three lots will be from 8th Avenue North. This proposes a challenge with the addressing of the lots. Currently Lot 12 has the building on it that faces 9th Street North and is addressed as 706 9th Street North. The applicant will be removing this building and will be placing the new single-family home where the front of the home faces 8th Avenue North. The address will be changed to 900 8th Avenue North. The home built on Lot 9 is addressed as 904 8th Avenue North and without changing this address, the two other lots will be addressed as follows:

Proposed Single Family Home Address:

- Lot 10 – 902 8th Avenue North
- Lot 11- 900 ½ 8th Avenue North
- Lot 12 – 900 8th Avenue North

Water / Sewer:

Lot 12 has a current connection from 8th Avenue North. The other two lots will need to have individual connections and those service lines may not cross other separate lots. If a curb stop is located in the driveway, sidewalk, or other paved surface, a mini-manhole is required. Water meter locations must follow service rule guidelines. The lots that do not have existing service being used, the WAC/SAC fees will be applied for at the time of building permits. The applicant

must contact Princeton Public Utilities and Princeton Public Works for the individual service connection to each site.

Electrical:

All electrical distribution and service lines are to be placed underground. Service lines may not cross other separate lots. Electric meter locations must follow service rule guidelines. The applicant must contact Princeton Public Utilities for the power to the individual sites. Princeton Public Utilities will maintain the proper utility easements and Right-of-Way for our electric lines in the vacated alley.

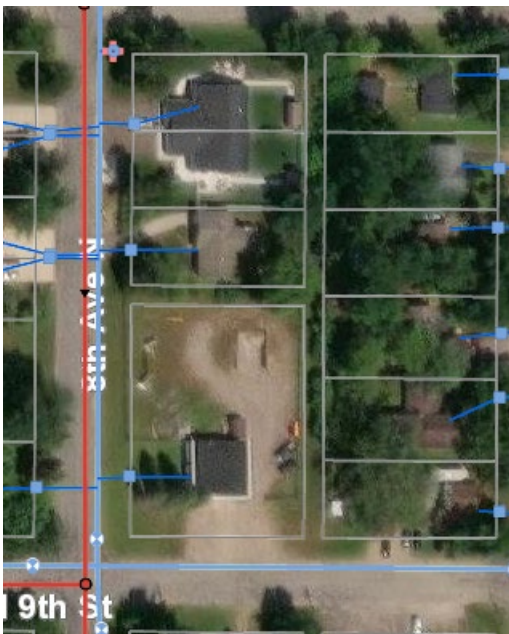
Conclusion / Recommendation:

The proposed Lot Split appears to meet the standards for the Zoning Ordinance. The Planning Commission approved the Lot Split and forward the recommendation of approval for #24-11 Resolution of the Lot Split at 706 9th Street North, PID #24-040-2630, subject to the following conditions:

1. The R-2, Residential Zoning Ordinance requirements be followed.
2. The applicant will need to contact Princeton Public Utilities and Public Works for individual connection for each home for water and sewer hookup.
3. The applicant will need to contact Princeton Public Utilities on power to the individual connection to each home.
4. The applicant will obtain a Digging Permit from the City prior to digging in the street.
5. The applicant will obtain an approved demo permit and MPCA form from the City prior to the removal of the building on the site.
6. Where the water curb stop is in a paved area (usually driveway) there needs to be a mini-manhole.
7. Separate building permit and SAC/WAC permits must be applied for and approved prior to construction of the individual residential homes.
8. When work on the site begins, the work shall be carried on with minimum of interference with traffic.
9. The Developer shall replace in-kind or better all streets, curbs, and sidewalks disturbed by this operation.
10. The front and side yards to the rear of the dwellings need to be sod. The rear of the dwelling and garage should have sod or seeded with a minimum of four (4) inches of topsoil. If due to weather conditions, the landscaping is unadvisable, a temporary Certificate of Occupancy may be issued subject to an escrow deposit to assure compliance by no later

than July 1st of the following year.

11. The driveway to each dwelling needs to be hard surfaced with either asphalt or concrete. If due to weather conditions, the driveway is not complete, a temporary Certificate of Occupancy may be issued subject to an escrow deposit to assure compliance by no later than July 1st of the following year.
12. The R-2 Zoning District Ordinance requirements for setbacks be followed.
13. The Princeton Public Utilities will maintain the proper utility easement/Right-of-Way for their electric lines in the vacated alley.
14. The applicant will have a Deed prepared and full property taxes paid to go with the Lot Split Resolution for recording at Mille Lacs County.



Water Lateral Lines
Water Mains Sewer Lateral Hydrants